

**THE CORPORATION OF LOYALIST TOWNSHIP  
BY-LAW NO. 2011-099**

A By-law Respecting Water Works and Water Use in Loyalist Township

**WHEREAS** The Municipal Act, 2001, Section 11. (2) authorizes a lower-tier municipality to pass by-laws respecting matters within specific spheres of jurisdiction;

**AND WHEREAS** one of the authorized spheres of jurisdiction includes matters relating to public utilities including water production, treatment, storage and distribution.

**AND WHEREAS** Loyalist Township has a duty under the Safe Drinking Water Act, 2002, S.O. 2002, c.32 to ensure the physical operation of the waterworks is not impaired and that it meets applicable provincial standards and regulations.

**AND WHEREAS** The Corporation of Loyalist Township owns, operates and maintains the Fairfield Water Works and the Bath Water Works; and

**AND WHEREAS** Council adopted By-law 2004-70 respecting those water works owned and operated by or for the Township to ensure that there is a continued supply of potable water to those persons to whom water is supplied from such water works;

**NOW THEREFORE** the Corporation of Loyalist Township hereby enacts as follows:

1. Definitions

- 1.1. "Act" shall mean the Municipal Act, 2001.
- 1.2. "Applicant" shall mean a land or property owner or agent acting on behalf of a land or property owner.
- 1.3. "Bath Water Works" shall mean the water filtration plant located in Broken Front Concession, Parts of Lots 11 and 16, Plan 77, geographic area of the former Village of Bath and now known as Loyalist Township, including pumping stations, treatment facilities, intake structures, distribution mains and water storage facilities serviced by the Bath Water Treatment Plant.
- 1.4. "Council" shall mean the Council of The Corporation of Loyalist Township.
- 1.5. "Engineer" shall mean the Director of Engineering Services of The Corporation of Loyalist Township or his/her designate. If the Director of Engineering Services is not available, the Utilities Manager shall be his/her designate.
- 1.6. "Fairfield Water Works" shall mean the water filtration plant located in part of lots 40 and 41, Broken Front Concession, geographic area of the former Township of Ernestown and now known as Loyalist Township including pumping stations, treatment facilities, intake structures, distribution mains and water storage facilities serviced by the Fairfield Water Treatment Plant.
- 1.6 "Outdoor Watering" shall mean the use of water from the Water Works for the purpose of watering lawns or gardens; washing of vehicles, sidewalks or driveways; filling of swimming pools and similar uses of large volumes of water but does not

- include using handheld watering cans for the occasional watering of plants and flowers.
- 1.7 “Person” shall mean and includes any person, firm or corporation.
- 1.8 “Provincial Offences Officer” shall mean one or more persons appointed by the municipality for the purpose of enforcing the provisions of this by-law.
- 1.9 “Treasurer” shall mean the Treasurer of The Corporation of Loyalist Township.
- 1.11 “Township” shall mean The Corporation of Loyalist Township.
- 1.11 “Building Water Service” shall mean that part of the water service piping outside a building or structure that connects a building water service to the water service connection of the Township and that commences at the interior face of the outer wall of the building or other structure and terminates at the property line; and
- 1.12 “Water Service Connection” shall mean the extension from the building water service to the water service connection of the Township.
- 1.13 “Water Works” or “Works” shall mean any works for the collection, production, treatment, storage, supply and distribution of water, or any part of such works, now or in the future owned and operated by or for the Township but does not include plumbing to which the Building Code Act, 1992 applies.
- 1.14 “Township Standards” shall mean applicable sections of the Ontario Building Code, Ontario Provincial Standards, and Township developed standards for the supply, installation, decontamination and testing of municipal waterworks and plumbing.
- 1.15 “Certified Operator” shall mean a person employed directly by the Township who has attained at a minimum an Operator in Training Water Distribution License as per Ontario Regulation 128/04 and who conducts operational checks or adjusts, tests, or evaluates a process that controls the effectiveness or efficiency of a subsystem and includes a person who adjusts or directs the flow, pressure, or quality of the water within the subsystem, and if the person works in a distribution subsystem or a distribution and supply subsystem.
2. Authority
- 2.1. Council shall be the authority responsible for the operation of the Water Works, including the setting of rates, the engaging of employees, the payment of accounts and all other things necessary for the successful operation of the Water Works.
3. Requirement to Connect
- 3.1. The owner or occupant of every lot or parcel of land which is built upon that derives an immediate benefit from the construction of a watermain along the street abutting such lot or parcel of land and when a connection to the Waterworks is permitted as per the Township’s Official Plan shall, within six months of the municipality giving notice, connect the lot or parcel to the watermain at the owner’s expense.

- 3.2. The owner shall pay all costs for constructing laterals and connections to the watermains and such work shall be done in accordance with the provisions of this by-law.

#### 4. Application for Water Service

- 4.1. A water service will be introduced into a building or lot and the water will be turned on for premises where services have already been installed only upon the written request of the owner thereof or his duly authorized agent in writing.
- 4.2. In every case in which there is a change of ownership of premises supplied with water, the new owner shall notify the Township of the change of ownership and shall sign and file with the Township an application. An administrative fee as set by the most current Loyalist Township Miscellaneous Fees and Charges Bylaw, will apply.
- 4.3. An application for the supply of water shall be made on a form to be furnished by the Township and the applicants shall furnish such information as Council shall require.
- 4.4. The owner of the land must join in such application and both owner and applicant shall agree to pay for the water supplied in accordance with the most current Loyalist Township Water and Sewage Service Charges Bylaw.
- 4.5. A Water Service Permit for water service connections to watermains including upgrades to an existing water service, if changing size and/or location, shall be secured from the Engineer or designate before any work is undertaken and all work shall be carried out strictly in accordance with such terms and conditions as may be set out in the permit application.
- 4.6. All applicable fees associated with the application for a water service such as service permit fees, impost fees, connection fees, excavation permit fees, inspection fees and deposits, or any other fees specifically set for the installation of a water service, must be paid prior to the installation. The water service permit fee is non-refundable.
- 4.7. The applicant shall be responsible for any costs associated with inspections by Township employees.
- 4.8. No work may be done on either the installation or the repair of watermains and service connections without approval by the Township.
- 4.9. The receipt of approved water permit does not eliminate the applicant's responsibilities for any other applicable permits or authorizations.

#### 5. Installation of Water Services

- 5.1 All new water service connections shall be laid down with water service pipe approved by the Engineer in accordance with Township Standards from the watermain to the private property line by the Township or by a contractor approved by the Township. No such water service connections shall under any circumstances be closed or backfilled until examined, tested and approved in writing by the Engineer. Testing where required shall be at the expense of the permit applicant.
- 5.2 All new building water service connections shall be laid down and inspected as per the requirements of the Ontario Building Code. The water service pipe from the

- private property line to the building shall be laid by a contractor hired by the owner, or alternatively the Owner has made previous written arrangements with the Engineer to have the Township complete the work at the Owner's expense.
- 5.3 Where new water service connection is permitted along a trunk watermain and water pressure exceeds acceptable normal pressure, the Township will provide the owner with a pressure reducing valve at no charge. The owner will be responsible for the installation and maintenance as per manufacturer's recommendations, which will be provided with the pressure reducing valve. A normal arrangement for a pressure reducing valve installation is shown in Schedule A of this bylaw.
- 5.4 The Owner shall pay on demand all costs for laying a water service connection from the watermain, for constructing water services and connecting to the watermain and for all other expenses necessary or incurred to serve an applicant or property, and if not so paid, may be collected in the same manner as water rates.
- 5.5 All new services and/or replacements, in whole or in part, of existing services shall be constructed as shown in Schedule A of this bylaw, and in such manner, size, material and grade and with such appurtenances as the Engineer shall require, and no such services shall under any circumstances be closed or backfilled until examined, tested and approved in writing by the Engineer or designate. Alternative materials from the material listed in Schedule A of this Bylaw could be approved if allowed under the Ontario Building Code and with the approval of the Engineer subject to a stock premium fee in accordance with the most current Loyalist Township Water and Sewage Service Charges Bylaw.
- 5.6 In the situation where the applicant wishes to connect to a water service connection previously provided to the private property line, and the service is no longer as per current Township standards, the Applicant will be responsible to upgrade the service from the watermain as per Clause 5.1 and as per current or desired specifications at the direction of the Engineer and at the sole expense of the applicant.
- 5.7 Testing where required shall be at the expense of the permit applicant.
- 5.8 The Township has the right to refuse any connection to the Bath and /or Fairfield Waterworks if the laying or construction of the water service connection service does not meet Township Standards. Requests for new services must be accompanied by a servicing plan to the satisfaction of the Engineer.
- 5.9 Bedding and location of pipes shall be in accordance with standards established by the Engineer.
- 5.10 No person shall damage or injure any services connecting with any watermain.
- 5.11 No cross connection between any other water supply system and the Water Works shall be permitted.
- 6 Maintenance by Township
- 6.1 No person shall injure, break or remove any portion of any valve, curb stop, hydrant, meter, backflow prevention units or any part of any watermain or obstruct the flow of water in any part of the system.

- 6.2 Contrary to Clause 6.1 an individual who is not licensed as a certified operator shall be permitted to close a watermain valve or operate curb stops and hydrants as a result of an emergency (i.e., watermain break) if approved by a certified operator of the Township. In the event that a non-licensed individual is required to perform emergency procedures as noted above, the certified operator will notify the Utilities Manager and the Utilities Supervisor or their designate of the nature, location, time, and date of the event, and the name of the individual performing the shutdown and any observations of the water system performance prior to, during, and after the valve operation. The notification may be verbal for reasons of expediency, but a subsequent written communication will be required.
- 6.3 All watermains and water service connections connected thereto from the main up to and including the connection and shut-off valve at the private property line shall be repaired and kept in order at the expense of the Township.
- 6.4 Where a building water service on private property is jointly owned and such service requires servicing and/or repairs, the Township may, after giving adequate notice to the owners by personal delivery or by registered mail, repair the service(s) and levy the cost on the taxes of the owners of the service(s).

## 7 Maintenance By Consumers

- 7.1 Every person taking water must at his own expense keep his building water service, from the private property line to the interior face of the outer wall of the building and all appliances and fixtures connected therewith, in good order and condition.
- 7.2 Any damage or leak or other maintenance of the building water service from the private property line up to but excluding the water meter, shall be forthwith repaired by the owner or occupant of the building to the satisfaction of the Township, and in default of his so doing, whether notified or not, the Township may enter upon the land where the service pipe is and repair the same and charge the cost thereof to the owner or occupant of the premises and the same may be collected in the same manner as property taxes, as per Section 446(3) of the Act. Interest on any cost incurred by the Township will accrue interest at the rate of 15 per cent per annum from the date the cost is incurred until paid in full, as per Section 446(5) of the Act. The cost incurred together with all accrued interest will form a lien against title to the property upon registration of a notice of lien by the Township.
- 7.3 Should the said building water service, pipes, appliances or fixtures get out of repair and not be forthwith repaired, it shall be lawful for the Township to refuse to continue the supply of water until such repairs have been affected.

## 8 Inspections

- 8.1 Water pipes, fittings, etc. must be inspected, tested and approved by an authorized agent of the Township before regular water service commences
- 8.2 The officers or employees of the Township shall at all times be entitled to enter any premises for the purpose of examining pipes, connections and fixtures which are used in connection with the water service. The location of a meter, once installed to the approval of the Township, shall not be changed by any person except with the written consent of the Township.

8.3 All building water services and connections inside the private property line shall be inspected by the Chief Building Official or designate prior to backfilling and when back-filled such service pipes and connections shall be properly protected from frost at the expense of the owner of the property for which such services are supplied and shall be so protected from all damage whether by frost or otherwise and the owner of each building shall be responsible for the due protection of such service pipes, and in the case of leakage such owner shall be responsible for the loss occasioned by such leak, and the charge for such water so leaking shall be determined by the Engineer, and the cost thereof shall be paid by the owner forthwith upon demand and such owner shall be responsible for all damage arising from such leakage.

## 9 New Connections Through Development or Extension of Services

9.1 All mains and water service connections which are laid or installed in public streets shall become the property of the Township.

9.2 Where mains and water service connections are installed by a developer, all the works shall be supervised by the Township and legal agreements will be required prior to the commencement of the installation stating that the Township will become the owners of the installation on their completion. The Township requires detailed drawings of the proposed work and construction shall not proceed until the drawings are approved by the Engineer or designate and the applicant's professional engineer has completed all pertinent sections of forms required to record watermain extension and/or alteration as required by the MOE's Drinking Water Works Permit.

9.3 All new watermains are to be disinfected as per the Ministry of Environment Procedure for Disinfection of Drinking Water in Ontario and AWWA C651-05 Standard for Disinfecting Watermains and the disinfection procedure must produce acceptable bacteriological results as per Ontario Regulation 170/03, as amended. The Township must be satisfied that the water meets provincial drinking water bacteriological requirements before allowing connection to existing water distribution systems.

## 10 Water Shut Off Notices

10.1 If a watermain shut down is necessary in order to conduct work under sections 5, 6, 7, and/or 9 of this bylaw and where on line consumers will be affected, the applicant for the work, will be responsible for notifying all affected consumers of a potential loss of water supply in a format approved in writing by the Engineer. The notice must be clearly printed, with the date of the shutdown, duration and contact number for any questions, and delivered 24 hours in advance minimum to all affected properties.

10.2 Water shut downs will only be allowed with the Engineer's approval.

## 11 Meters, Backflow Preventers, Pressure Reducing Valves and Service Fixtures

11.1 All water supplied from Township water works and used on any premises or by any consumer shall pass through and be measured by a water meter approved by the Township; failing to apply, the Township shall refuse to supply water to any person or premises other than by meter.

- 11.2 In addition to whatever other remedies the Township may have by law with respect to infringement of this condition, the Township may, upon ascertaining that water has been used which has not passed through the meter of such premises, forthwith without notice, shut off and stop supply of water and assess costs for consumption of such water.
- 11.3 The criteria for the requirement, installation and maintenance of backflow preventers will be established by a separate bylaw.
- 11.4 Contractor's installation includes the installation of the water meter, prewiring of meter remote, backflow preventer (where applicable) and pressure reducing valve (where applicable). A normal arrangement for specific installation is shown in Schedule A of this by-law.
- 11.5 The location of the remote receptacle assembly will be based on the following considerations:
- 11.5.1 Proximity to the electric meter;
  - 11.5.2 Location where the cable entry hole can be drilled within the proximity of the meter installation;
  - 11.5.3 Location of other meters; and
  - 11.5.4 Reasonable customer preferences
- 11.6 Where a meter has been supplied with a remote radio frequency transmitter, a remote receptacle and related wiring is not required.
- 11.7 Water meters shall be purchased through the Township and a fee as set in the most current Loyalist Township Water and Sewage Service Charges Bylaw, shall be collected by the Building Department at the time the building permit or the water service permit is issued.
- 11.8 All meters, meter remotes, pressure reducing valves and backflow preventers shall be accessible to the officers of the Township at all times and shall not be covered except where permission or authority has been given in writing by an authorized employee of the Township.
- 11.9 In the event that a meter, meter remote, pressure reducing valve or backflow preventer is not accessible, it shall be made accessible at the cost of the property owner.
- 11.10 Every separate building supplied with water, with the exception of private garages attached to any residence, shall be furnished with a separate service and meter/remote, and in the case of duplex houses and other buildings with more than one single family unit there shall be a separate service and meter/remote for each single family unit.
- 11.11 Similarly, each unit within a multiple commercial and industrial building must be furnished with a separate meter, remote and backflow preventer.
- 11.12 Every property owner shall be liable for the safety and care of the water meter and all other service equipment placed on private property, and will be charged for all

- damage thereto, whether occasioned by frost, hot water, blows or injury from any other cause, and for the loss of the meter or other service equipment if the same be removed from his premises without the consent of the Township whether stolen or otherwise, and the cost of every such meter or other equipment, or of repairing or replacing the same, shall be payable to the Township on demand and, in default of payment, the Township may, in addition to all other remedies which it may have by law to collect same, and until paid all such charges shall be and remain a lien upon the lands in respect to which they were incurred.
- 11.13 Every property owner shall be responsible for the installation of a new meter or other service equipment, including service pipes, when damages, as detailed in clause 11.11 of this by-law, occur.
- 11.14 The contractor shall be responsible for any damage done to the customer's service plumbing and shall repair any leaks or other defects that may have been caused by the installation work, presuming that any leaks or defects reported by the customer to either the contractor or the Township within (14) calendar days after the completion of the installation are the result of a faulty installation and the contractor shall repair the damage at no extra cost to the Township or the property owner. This presumption does not apply to leaks or pre-existent conditions noted by the contractor and acknowledged, in writing by the customer, as being in existence prior to the installation.
- 11.15 No person, except an officer or employee of the Township, shall be permitted to open, or in any way howsoever, tamper with any water meter, remote, service, curb stop or with the seals placed thereon, or do any manner of thing which may interfere with the proper registration of the quantity of water passing through such service or meter and neither should any person change, tamper with or otherwise interfere with the water without any notice, shut off the water from such buildings, or premises, without the express consent of the Township.
- 11.16 In case any premises be left vacant or without heat, the property owner or occupant thereof shall give notice to the Township and any occupant or property owner who leaves his premises vacant, without heat, without notice to the Township shall be subject to the penalties of these conditions.
- 11.17 When such building, as per clause 11.15, is left vacant, with or without notice, the Township may turn off the water, and such water shall not be again turned on until the Township, in its discretion, shall consider it advisable. Service charges, as set in the most current Loyalist Township Water and Sewage Service Charges Bylaw, will apply.
- 11.18 Ownership of the meter will vest in the Township.
- 12 Water for Building Purposes
- 12.1 Water for building purposes shall only be taken from completed and Township approved metered water service to the site. The termination at the service must be controlled by a valve suitable to not allow any backflow into the distribution system.
- 12.2 Water for building purposes will be billed for in accordance with the most current Loyalist Township Water and Sewage Service Charges Bylaw.

### 13 Turning on Water

13.1 No person other than a certified operator employed by the Township shall be permitted to turn on or shut off water by means of the street shut-off from any premises. This will be strictly enforced and anyone who contravenes will be charged under Section 23 of this By-law.

13.2 A diagram showing the installed service, as constructed, must be submitted by the applicant using Schedule B of this by-law after the installation has been completed and before the Township turns on the water.

### 14 Use of Water

14.1 It shall not be lawful to use the supply of water for hydraulic elevators or motors, water driven appliances, whether operated wholly or in part by water, or for air conditioning.

14.2 The Engineer may at any time restrict the hours when water may be used for, including but not limited to, watering or sprinkling, by hose or pipe connections, lawns, gardens, grass plots, boulevards or grounds of any description, car washing and filling of pools, as per clause 22.4 of this bylaw.

### 15 Hydrants

15.1 No person shall at any time open or use water from any public hydrant with the exception of a certified operator employed by the Township. The members of the Fire Department under the direction of an officer shall be considered as licensed operators for the purpose of fighting fire and training.

15.2 The Fire Department will advise the Engineer in writing before the end of the next working day if any hydrant has been operated by the Fire Department.

### 16 Shut Off for Not Complying with By-law

16.1 The Township has the right to shut off water from the premises of any person guilty of a breach or non-compliance with this by-law or because of waste, breakage or defects in the pipes or fixtures, and to not turn on the water again until the penalty or fine imposed has been paid and/or until satisfactory evidence is received that the necessary repairs have been made.

### 17 No Liability for Non-Supply

17.1 Council agrees to use reasonable diligence in providing a regular and uninterrupted supply of water consistently meeting quality and standards as defined in Ontario Regulation 170/03, as amended, but does not guarantee a constant supply or pressure, and will not be liable in damages to the consumer or third parties for any results arising from the failure of the water supply quantity or any fluctuations thereof.

### 18 Water Supply Interruptions

18.1 Subject to the notice requirements set out in sections 10 and 22 of this by-law, the water supply may be interrupted for cleaning and/or repairing mains or pipes, or for effecting repairs to the machinery, pumps or any part of the Water Works.

18.2 The Township will not be liable in case of damage to boilers, fittings or other property by reason of any such shut-off of the water.

18.3 All steam and hot water plants or installations shall be fitted with all necessary appliances as may be requisite for the purpose of safeguarding such plants and installations, and the property in connection therewith, in case of any such shut-off.

## 19 Meter Chambers

19.1 Where the Township deems the construction of a frost-proof chamber(s) is necessary to house a Township water meter(s), it shall give notice in writing, accordingly mailed to the consumer by registered mail, and the consumer shall forthwith provide a drained, frost-proof chamber(s). The plans and specifications for such chamber (s) shall be subject to the approval of the Township.

19.2 The cost of providing and maintaining such a frost-proof chamber (s) readily accessible at all times shall be the responsibility of the consumer.

19.3 The water meter or meters shall be provided by and remain the property of the Township but shall be at the risk of the consumer. The consumer assumes the cost of the water meter purchase.

19.4 The Township shall be entitled to shut off all water services without further notice at the expiry of twelve months from the date of the aforesaid written notice to the consumer, whether received by the consumer or not, unless an approved frost-proof chamber or chamber(s) has (have) been provided by that date and shutting off water shall not preclude any and all other remedies available to the Township by by-law or statute.

## 20 Access

20.1 The authorized officers, employees and agents of the Township shall, when carrying out Township business, have, at all reasonable hours, free and unimpeded access to the buildings and premises of a consumer for the purpose of installing, reading, examining, repairing or moving meters, readers, seals, pipes and other material and appliances and for the inspection of all consumer appliances, services and pipes and shall be able to remain as long as may be necessary to carry out the requirements of this by-law and to determine whether or not the provisions thereof are being fully observed.

## 21 Heavy Consumption

21.1 When, in the opinion of the Township, the quantity of water consumed or likely to be consumed in a relatively short time by any consumer is such as to require special facilities, the Township shall give notice in writing, accordingly mailed to the consumer by registered mail, and the consumer shall forthwith provide a private overhead or underground reservoir of a capacity which in the opinion of the Township is sufficient to supply the consumer's short-time requirements.

21.2 Plans and specifications of such reservoir and all piping thereof and connections thereto shall be subject to the approval of the Township in addition to such other approval as may be required.

21.3 The cost of providing and maintaining such reservoir and all piping and connections thereto shall be the responsibility of the consumer.

21.4 The Township shall be entitled to shut off all water without further notice at the expiry of twelve months from the date of the aforesaid written notice to the consumer whether such notice was received by the consumer or not unless an approved reservoir has been provided by that date and shutting off water shall not preclude any and all other remedies available to the Township by by-law or statute.

## 22 Restrictions on Use of Water

22.1 In the case of an emergency or any condition requiring repairs to any municipal sewer or water system, the Township may shut off or restrict the supply of water to a property.

22.2 Before shutting off or restricting the supply of water, the Township shall, except in the case of an emergency:

22.2.1 by personal service or by registered mail, serve the owners and occupants of the property as shown on the last returned assessment roll of the Township with a notice of the date upon which the Township intends to shut off or restrict the supply of water if access to the property is not obtained before that date; or

22.2.2 ensure that a copy of the notice described in clause 22.2 (a) is securely attached to the property in a conspicuous place.

22.3 If the Township has shut off or restricted the supply of water, the Township shall restore the supply of water as soon as practicable after the repairs have been completed.

22.4 When an water shortage problem exists or is expected, the Engineer may prohibit the use of water for emergency purposes, including but not limited to, lawn and garden watering purposes, car washing, pool filling or the taking of water from all or any of the Water Works for other than use within the household, business or institution by the owner or occupant of the land to which the water is supplied, or for fire fighting purposes:

i) No person shall use water from a municipal water works system for outdoor watering when emergency restrictions are in place unless in accordance with restrictions as imposed by the Engineer;

22.5 For the purpose of managing peak demands from May 1<sup>st</sup> to September 30<sup>th</sup> each year, persons at properties with an odd number civic address may use water for outdoor watering purposes only on odd number days of the month; persons at properties with an even number civic address may use water for outdoor watering purposes only on even number days of the month:

i) No person shall use water from a municipal water works system for outdoor watering except in accordance with the regulations specifically set out in clause 22.5 unless emergency restrictions, as identified in clause 22.4, are in effect.

22.6 Notwithstanding clauses 22.4 and 22.5, the Engineer will have sole discretion to restrict use if water use is deemed excessive.

22.7 If the Engineer deems that it is necessary to impose restrictions, the restrictions may be advertised in any one of the following ways:

- i) door to door flyers;
- ii) radio advertisement;
- iii) on the website;
- iv) notice in the newspaper;
- v) notice in the Loyalist Township Recreation and Municipal Information Guide;
- vi) inserts in the Loyalist Township water bills;
- vii) inserts in the Loyalist Township tax bills.

22.8 The Engineer, in his sole discretion, may develop an exemption program or grace period for special circumstances, such as but not limited to, watering for sod, seed planting, new trees and/or new shrubs. All requests for exemption to this by-law must be in writing.

22.9 The Engineer, in his sole discretion, is authorized to allow a water user to use additional water at no additional expense to the water user where there is a concern that water quality, particularly chlorine content, is at peril due to low demand. This situation would normally only be present near the ends of dead end lines or situations where there are extremely low flows within the local watermains or within temporary watermains and services. The Engineer will make any long term commitments known to Council and the Director of Finance

## 23 Enforcement

23.1 This by-law shall be enforced by a Provincial Offences Officer.

23.2 If a court of competent jurisdiction declares any provision, or any part of a provision, of this by-law to be invalid, or to be of no force and effect, it is the intention of Council in enacting this by-law, that each and every other provision of this by-law authorized by law, be applied and enforced in accordance with its terms to the extent possible according to law.

## 24 Penalty

24.1 Every person who contravenes this by-law is guilty of an offence and upon conviction may be liable to payment of fines under the Provincial Offences Act, R.S.O. 1990, Ch. P.33 as amended.

## 25 By-law Repealed

25.1 By-law 2006-46 and any and all by-laws or portions thereof conflicting with this by-law are hereby repealed.

26 Short Title

26.1 This by-law may be referred to as the "Water Works By-law".

27 Effective Date

27.1 This by-law shall come into force and take effect upon the date of its passing.

ENACTED AND PASSED THIS 14TH DAY OF NOVEMBER, 2011.

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MAYOR

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CLERK

**SCHEDULE "A" TO BY-LAW NO. 2011-099****RESIDENTIAL SERVICE REQUIREMENTS (includes drawings W-9, W-10 & W-11)****INSPECTIONS**

- Appointment is needed for inspection and hydrostatic test. **A 48 hours notice is required.**
- All work must conform to the requirements as outlined in the Occupational Health and Safety Act as amended from time to time which includes trenching, personal protection and equipment.
- The curb box valve and any coupling for all services shall be exposed for inspection.
- The servicing will be inspected for material, type, elevation, slope, bedding and depth of cover. Testing of services may take place at any time at the Township's request.
- All work to be completed as per the relevant section of OPSS unless specifically stated otherwise.

**BUILDING SEWER OR LATERAL**

- 100mm Ø minimum size PVC material (must be labelled CAN/CSA-B182-2) or equivalent for single family homes. Multiple units will require design approval from the Engineer.
- Coupling at connection point shall be to the manufacturer's specifications and/or same Material as pipe.
- Clean out to be same size as sewer lateral and as per Ontario Building Code (O.B.C.) for laterals larger than 100mm Ø in size.
- Sewer laterals exceeding the length of 30 metres from the building to the sewermain require an additional clean out installed at the property line and capped off 0.6 metres below the finished grade.
- Sweeps to be installed. No bends or modifications will be approved.
- Each unit must have an individual service lateral.
- No sewer lateral service shall be located above the water service.
- Minimum slope for the building sewer lateral is 1%.
- Bell end of pipe shall be upstream towards building.
- Backfilling of service trench shall be of material which does not have rocks or boulders of 150mm or larger in one direction, and be free of organic material.

**BUILDING WATER SERVICE**

- Preferred materials are 19mm Ø minimum type soft 'k' copper, or 19mmØ polyethylene (must be labelled CAN/CSA-B137.1), installed to O.B.C. specifications. Alternative material could be approved by the Engineer if listed as acceptable in the O.B.C. and a premium stocking fee, will apply.
- Where the service pipe needs to be longer than 18m from the curb stop to the building, a 25mm service is the minimum size approved.
- Where a water service required size is greater than 25mm, Township Standards for watermain installation will apply.
- When polyethylene pipe is being used and passes through wall and concrete slab, it shall be installed with a metal sleeve and pressure tested at 150 psi.
- Where polyethylene water pipe is used, it shall be wire traced from building foundation wall to connection joint at property line. Tracer wire to be 10 gauge stranded wire.
- Polyethylene services must have stainless steel inserts to compression fittings.

- Minimum depth of cover of the water service is 1.5m along the entire length.
- Bedding material shall be granular 'A' and compacted to a minimum depth of 150mm above and below the water service.
- There shall be no buried joints, except at the curb stop.
- Double services will only be allowed if there is a 25mm service minimum from the watermain to the curb stop and a double curb stop with compression fittings and without drain is installed. Each unit should have a 19mm service minimum from curb stop to the unit.

### **METERS**

- Meters shall be purchased at the Township through the Building Department.
- Meters to be installed horizontally as per manufacturer's specifications
- Contractors are responsible for installing the water meter. If required, remotes will be placed within 300mm of the Hydro meter or approved location. Contractors are responsible for installing a wire, 4-strand wire, 22 gauge minimum (Bell wire), from the meter to the approved remote location.
- Utilities Department personnel will do the final connection at the meter and mount/connect the remote.
- Utilities Department personnel will tag and secure all meters.

### **CURB STOP**

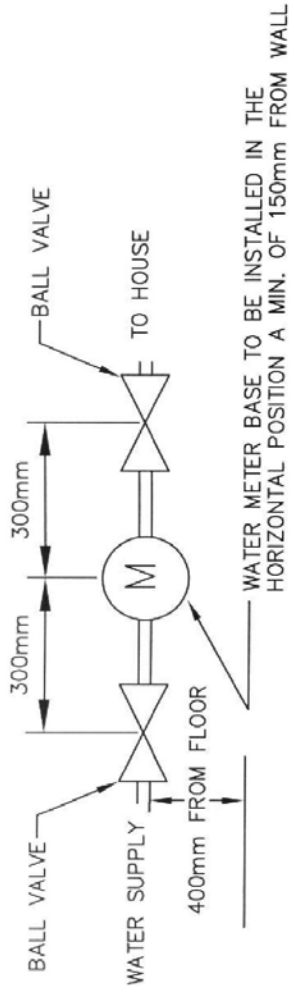
- Mueller Roto-Seal type or equivalent - compression fittings, without drain
- Inverted key type not acceptable.
- Valve will be no deeper than 1.7m below finished grade.
- An anode must be fastened to the curb stop with an electric clamp for every copper service, minimum 7.7 Kg zinc anode. This is not required if an anode has already been installed on the main stop.

### **MAIN STOPS**

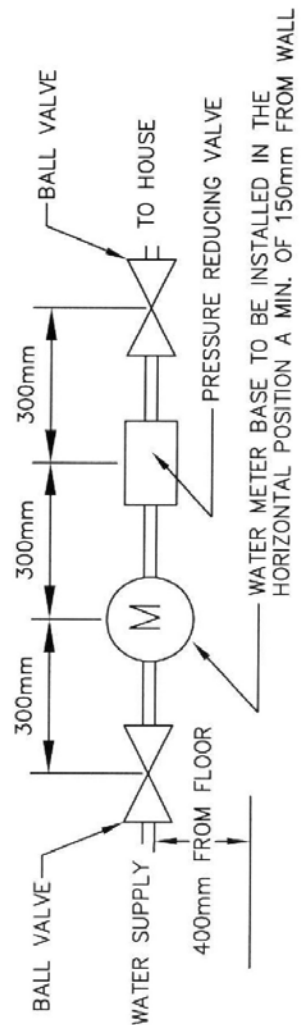
- Compression fittings, without drain
- Service taps will include stainless steel saddle as recommended by pipe manufacturer.
- An anode must be fastened to the main stop with an electric clamp, minimum 7.7 Kg zinc anode.

### **BEDDING AND BACKFILL MATERIAL**

- As per OPSS 701 or as approved by the Engineer



**TYPICAL WATER METER  
INSTALLATION DETAIL**



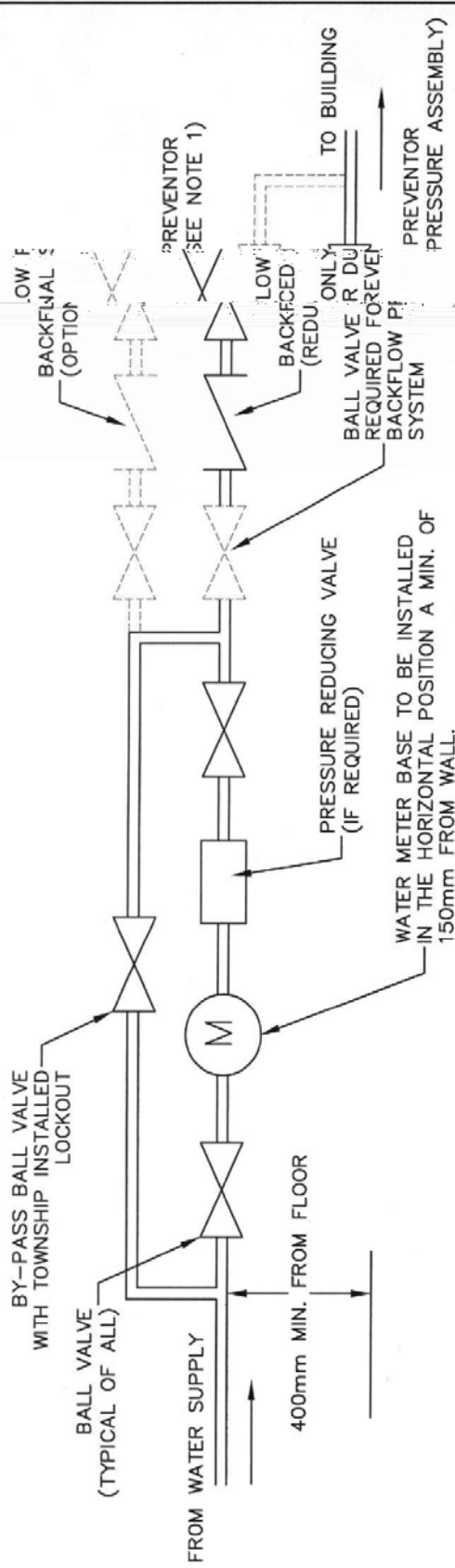
**TYPICAL PRESSURE REDUCING VALVE  
INSTALLATION DETAIL**

DATE:	OCT. 17, 2002
SCALE:	N.T.S.
DRAWN BY:	A. SCOTT
CHECKED BY:	M.J. MERRITT
DRAWING NO.:	W-9

TITLE:  
**RESIDENTIAL WATER METER  
INSTALLATION DETAILS**

**LOYALIST TOWNSHIP  
ENGINEERING DEPARTMENT**  
P.O. BOX 70, 263 MAIN ST.,  
ODESSA, ONTARIO  
K0H 2H0  
(613) 386-7351 Ext. 115





WATER METERS  
 NEPTUNE TECHNOLOGY GROUP - <http://www.neptunetg.com/>  
 BACKFLOW PREVENTORS  
 FEBCO - <http://www.febcoonline.com>  
 WATTS REGULATOR COMPANY - <http://www.wattsregulator.com/>



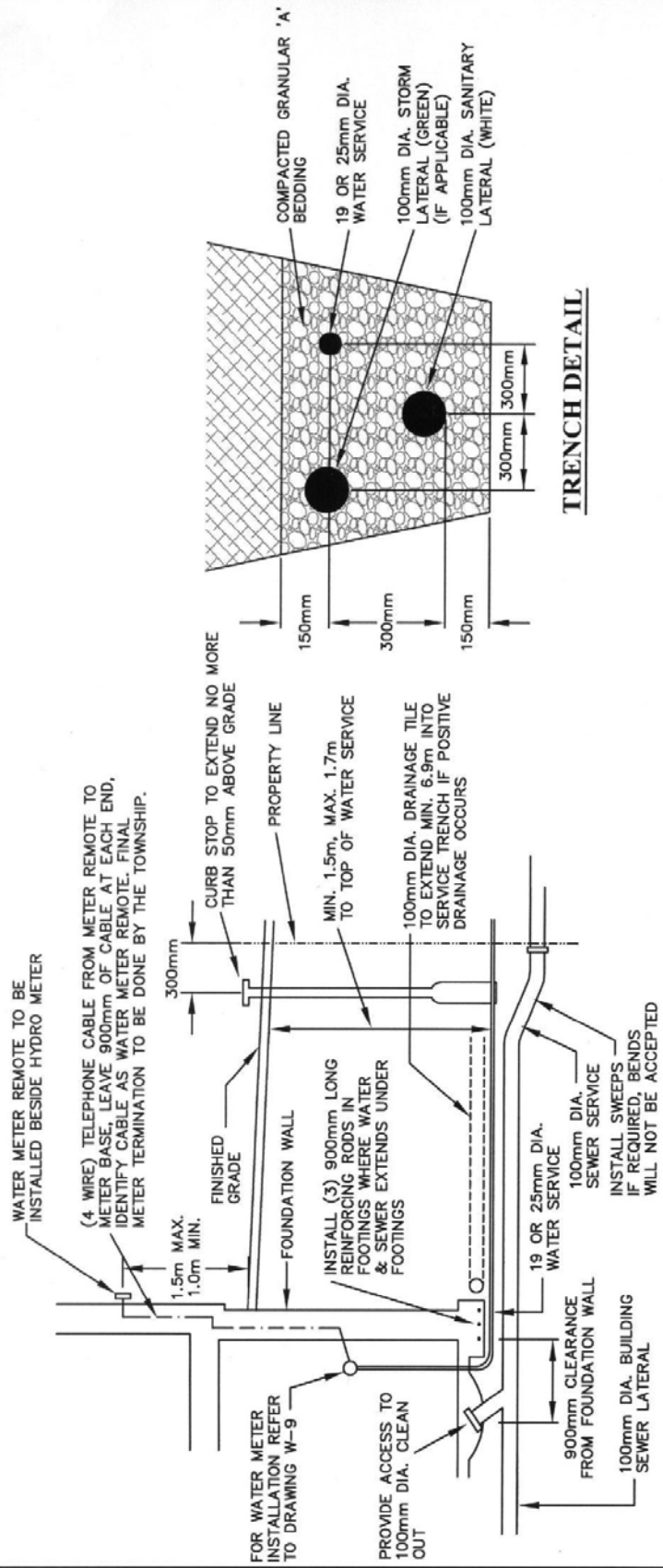
**LOYALIST TOWNSHIP  
 ENGINEERING DEPARTMENT**  
 P.O. BOX 70, 263 MAIN ST.,  
 ODESSA, ONTARIO  
 K0H 2H0  
 (613) 386-7351 Ext. 115

TITLE:  
**ICI WATER METER AND  
 BACKFLOW PREVENTOR  
 INSTALLATION DETAILS**

DATE:	OCT. 17, 2002
SCALE:	N.T.S.
DRAWN BY:	A. SCOTT
CHECKED BY:	M.J. MERRITT
WING NO.:	W-10

NOTE 1: MULTIPLE PREVENTORS; MINOR DISRUPTIONS DURING MAINTENANCE. BALL VALVE REQUIRED FOR BACKFLOW PREVENTOR SYSTEM.

RECOMMENDED FOR ICIs  
 CHECKING WATER  
 DRAINING BACKFLOW  
 ENHANCE.



DATE:	OCT. 17, 2002
SCALE:	N.T.S.
DRAWN BY:	A. SCOTT
CHECKED BY:	M.J. MERRITT
DRAWING NO.:	W-11

TITLE:

**RESIDENTIAL SERVICING REQUIREMENTS**

LOYALIST TOWNSHIP  
ENGINEERING DEPARTMENT  
P.O. BOX 70, 263 MAIN ST.,  
ODESSA, ONTARIO  
K0H 2H0  
(613) 386-7351 Ext. 115



**SCHEDULE "B" TO BY-LAW NO. 2011-099**

**"AS CONSTRUCTED" DIAGRAM FOR NEW WATER/ SEWER SERVICES**

ADDRESS \_\_\_\_\_

LOT# \_\_\_\_\_ R PLAN NO. \_\_\_\_\_ PROJECT NO. \_\_\_\_\_

**WATER SERVICE**

TYPE of PIPE \_\_\_\_\_ SIZE \_\_\_\_\_

TYPE of CONNECTION FITTING \_\_\_\_\_ TYPE of CURB STOP \_\_\_\_\_

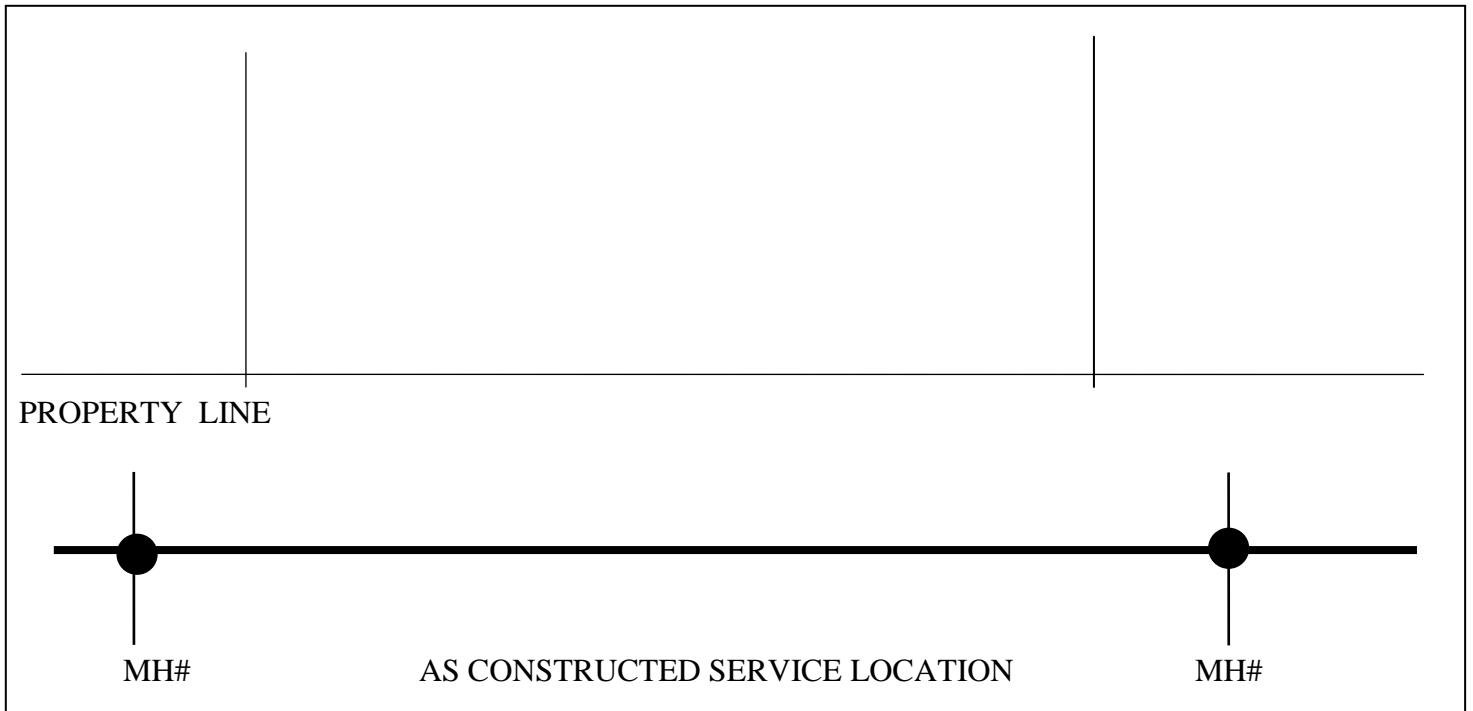
**SEWER SERVICE**

TYPE of PIPE \_\_\_\_\_ SIZE \_\_\_\_\_

GRADE \_\_\_\_\_

DISTANCE FROM MH# \_\_\_\_\_ IS \_\_\_\_\_ DISTANCE FROM MH# \_\_\_\_\_ IS \_\_\_\_\_

**CONTRACTOR IS REQUIRED TO PROVIDE SWING TIES FROM STRUCTURE CORNERS TO BOTH CURB STOP AND SEWER TESTING TEE.**



Note: Draw both water and sewer services on the same diagram including the location of the sewer clean out and the curb stop.

I certify that the dimensions shown above are correct: \_\_\_\_\_  
Contractor's signature Date

\_\_\_\_\_  
Inspector's signature Date